



WARREN COUNTY

Matt Nolan
Auditor

Barney Wright
Treasurer

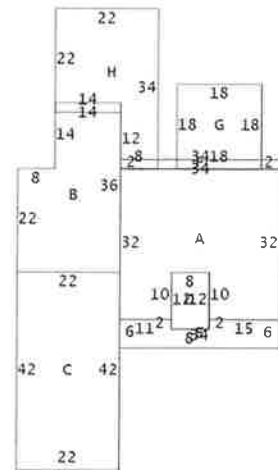
Linda Oda
Recorder

Parcel ID	804300042	Current Owner	STEINKE LIVING TRUST	Account Number	0641415
Property Address	4104 SPRINGBORO RD LEBANON 45036	Legal Description	1,5000 ACRES	Neighborhood ID	89001
Tax District	6 CLEARCREK TWP SPRBORO CSD	State Use Code	510 - SINGLE FAMILY DWG (PLATTED)	OH Public School Dist No	8302
		School District	SPRINGBORO CSD		

Primary Picture



Primary Sketch



Parcel ID

804300042

Current Owner

STEINKE LIVING TRUST

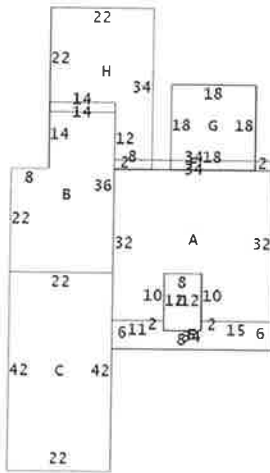
Account Number

0641415

Residential Building Details

Building 1 of 1

Building Sketch



Sketch Details

A	FRAME	2 STORY	1008
B	FRAME	1 ST. / BSM'T	680
C	FRAME	GARAGE	924
D	FRAME	1 ST. / BSM'T	96
E	FRAME	OPEN PORCH	188
F	FRAME	1 ST OVERHANG	68
G	BRICK	PATIO	324
H	FRAME	OPEN PORCH	580

Occupancy
Construction Year
Remodel Year 1
Remodel Year 2
Condition
Construction Cost
Remodel Cost
Foundation
Exterior
Basement

1 FAMILY UNIT

1998

0

0

AVERAGE

\$0.00

\$0.00

CONCRETE

VINYL / ALUM

FULL

Finished Basement

0 sq. ft.

Unfinished Attic

0 sq. ft.

Finished Attic/Living Area

0 sq. ft.

Number of Bedrooms

5

Family/Rec Room

NO

Wood Fireplace

0

Gas Fireplace

2

Heating System

FORCED AIR

Heat Source

GAS

Central Air Conditioning

YES

Full Baths

3

Half Baths

1

True Value

\$287,410.00

Special Features

No Special Features Found

Parcel ID

804300042

Current Owner

STEINKE LIVING TRUST

Account Number

0641415

Sales History

Sale Date	Grantor	Grantee	Consideration	Convey No.
10-18-2023	STEINKE, MATTHEW JAMES &*	STEINKE LIVING TRUST *	\$0.00	2023-6034
11-08-2019	FRANER, MICHAEL B. & CARO	STEINKE, MATTHEW JAMES &*	\$443,750.00	2019-8143
05-08-1998	MARTENS, SARAH ELIZABETH	FRANER, MICHAEL B. & CARO	\$25,000.00	1998-3075

Parcel ID

804300042

Current Owner

STEINKE LIVING TRUST

Account Number

0641415

Outbuildings

There Are No Outbuildings Associated With This Property

WARREN CO. OHIO

5-1-98

VOL 104 PLAT No 27

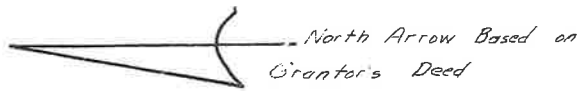
WARREN Co. ENGINEERS RECORD
OF LAND SURVEYS

DEED REFERENCE

O.R. 1243
P 187

RANGE 4
TOWN 3
SECTION 4

CLEARCREEK TOWNSHIP



OCCUPATION- as noted on plan

DOCUMENTATION- Deeds, Tax Map, Aerial

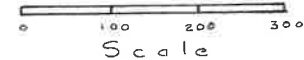
MONUMENTATION- new condition unless noted

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CLEARCREEK TOWNSHIP
ZONING DEPT.

Graphic



Chalmer Brandenburg

B7.28 etc
DB 452
P 119

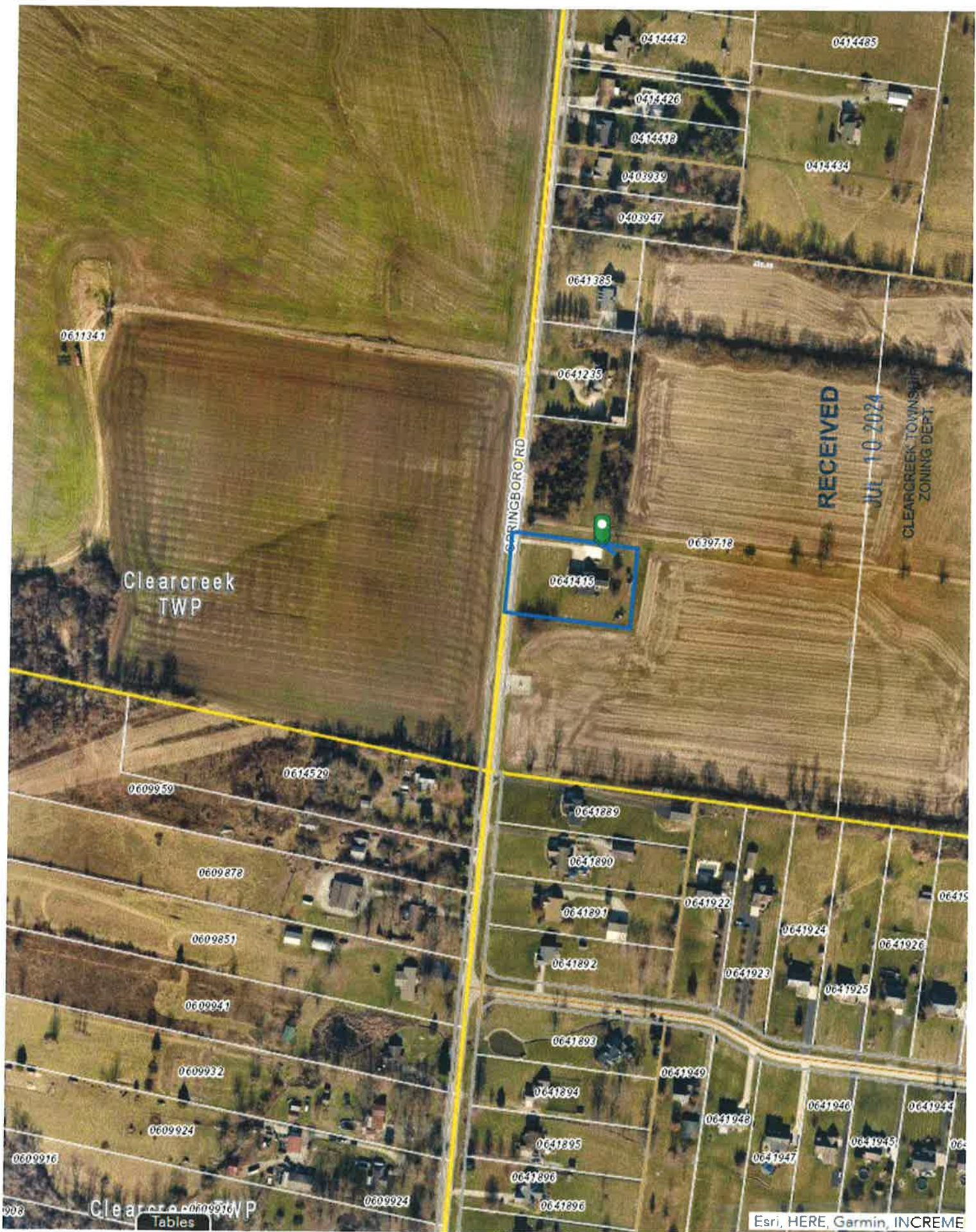
S P R I N G B O R O R O A D

LEGEND

- Set PK SPIKE
- Set 1/2" Iron Pin

	BALLINGER & ASSOCIATES		
	ENGINEERS - SURVEYORS		
	308 East Warren St. Lebanon Ohio 45036		
	LOT SPLIT FOR		
Scale 1" = 100'	DATE 4-25-98	DRAWN BY JB	Job No. 9801

24-BZA-005 Exhibit 2





Date: 7/12/2024

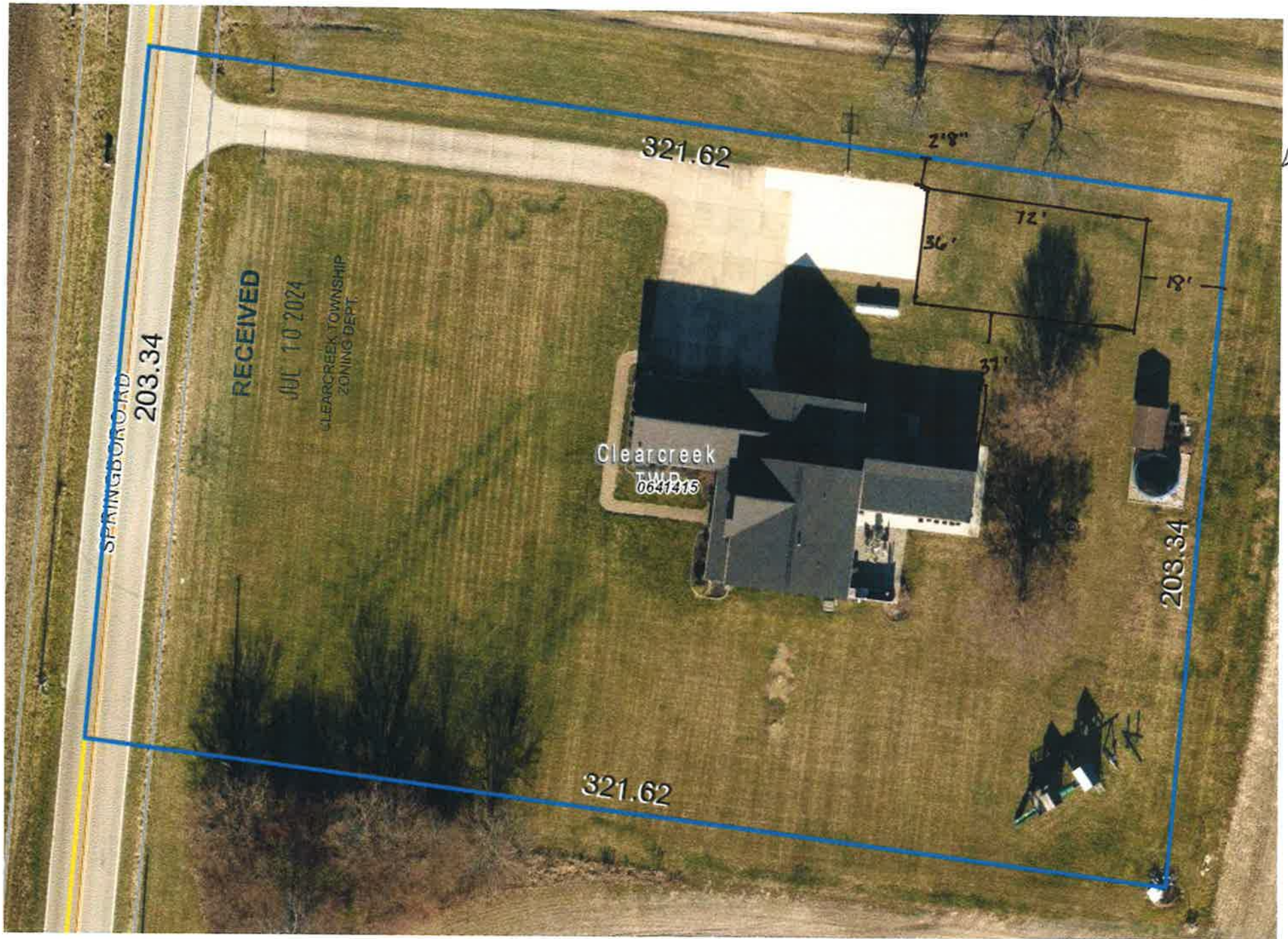
Cadastral Lines	Corporate Line	Parcel Line	Hardware
all other values	County Line	RDW Unknown Width Line	Subdivision Lot Line
Line Type	Farm Lot Line	Road ROW	Township and Range Line
Airport Trail Line	Overpass Line	School Line	Trail Line
Civil Township Line	Subdivision Limit Line	Section Line	VMS Line
			Water Road Line

1 inch = 50 feet

4104 Springboro Road

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Proposed location of pole barn w/ variance request



North arrow

Steinke, Matthew

36x72x16 Post Frame Building

Building Colors: Buckeye Steel

Siding: Light Stone

Trim: Clay

Roof: Clay

Wainscoting: Clay

Doors: White

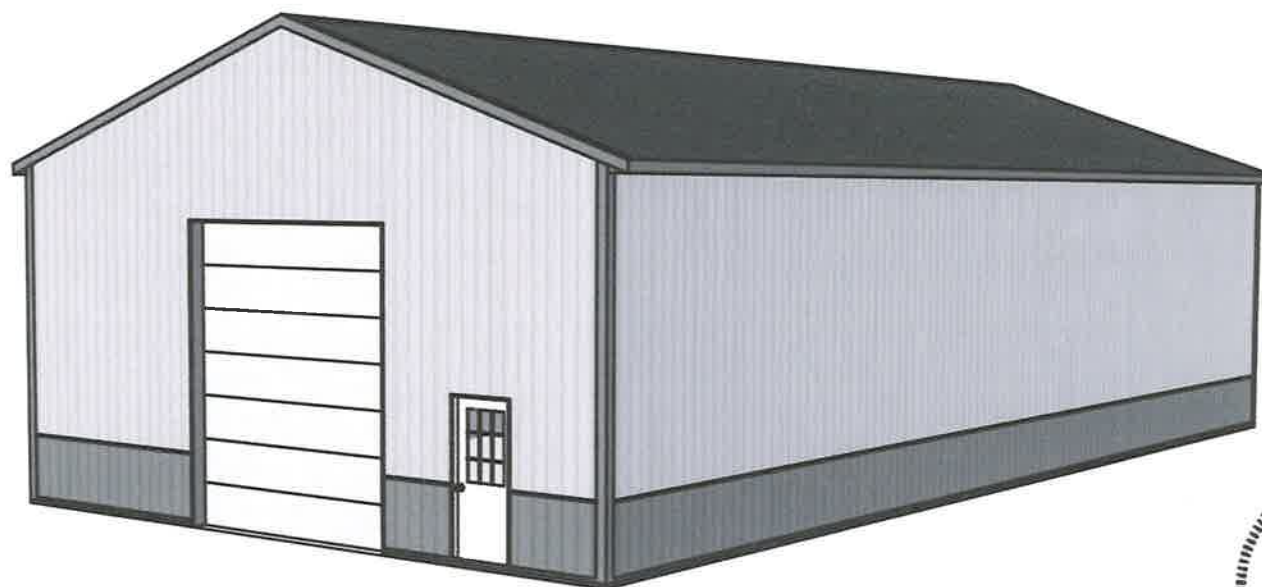
Misc. Details:

Single Bubble Ins. on Roof

House Wrap on Sides

12" Overhangs on Sidelwalls Only

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ZONING DEPT.



Cover Sheet

June 19, 2024

No Scale

EXPIRATION DATE:
12/31/2025

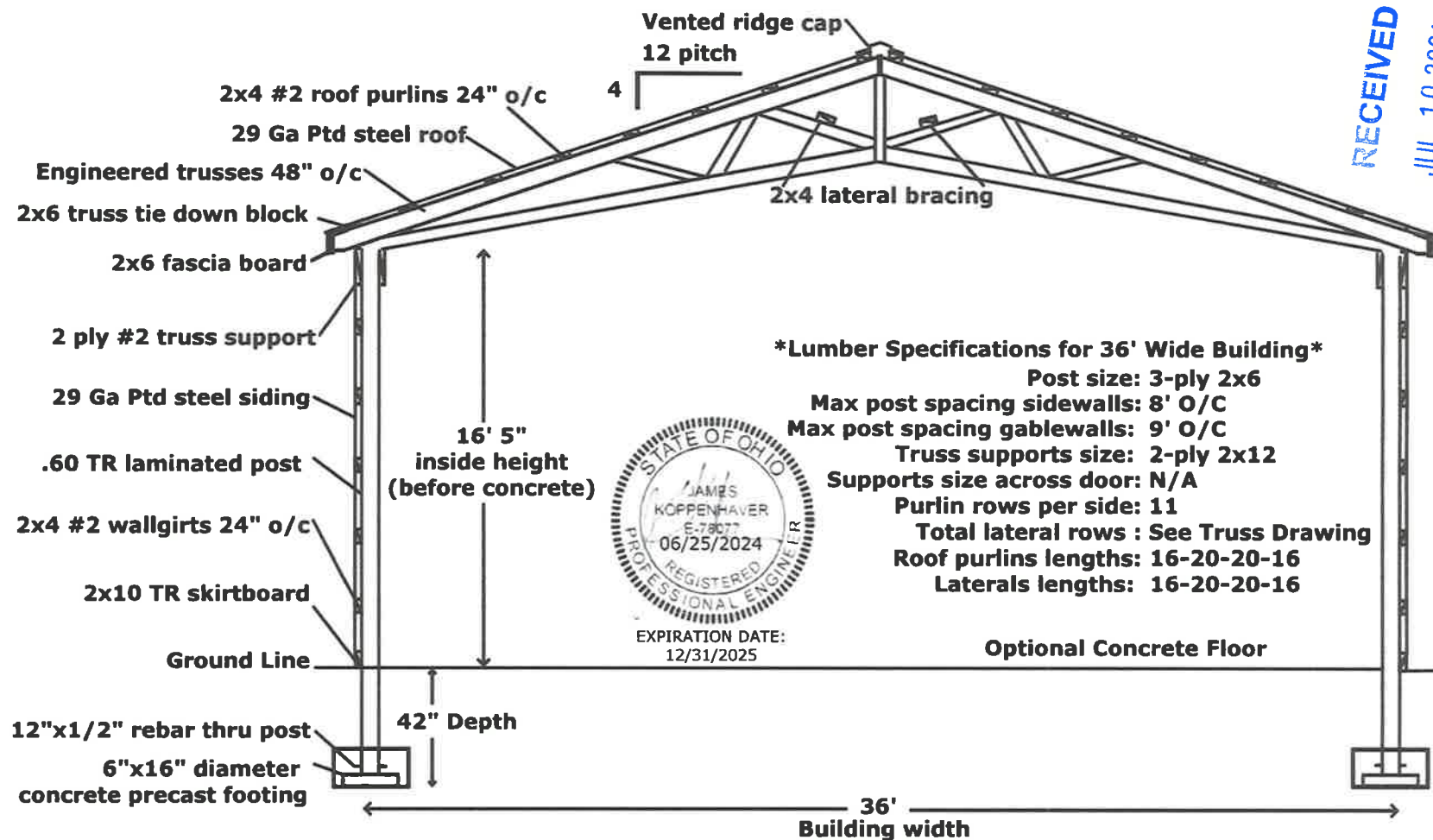


Job Name: Steinke, Matthew

Site Address: 4104 Springboro Rd.
Lebanon, OH 45036

216-633-0394

MQS Structures, LLC
2843 Lifer Lane SW
Lancaster, OH 43130



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Typical Wall Section

Typical Framing View

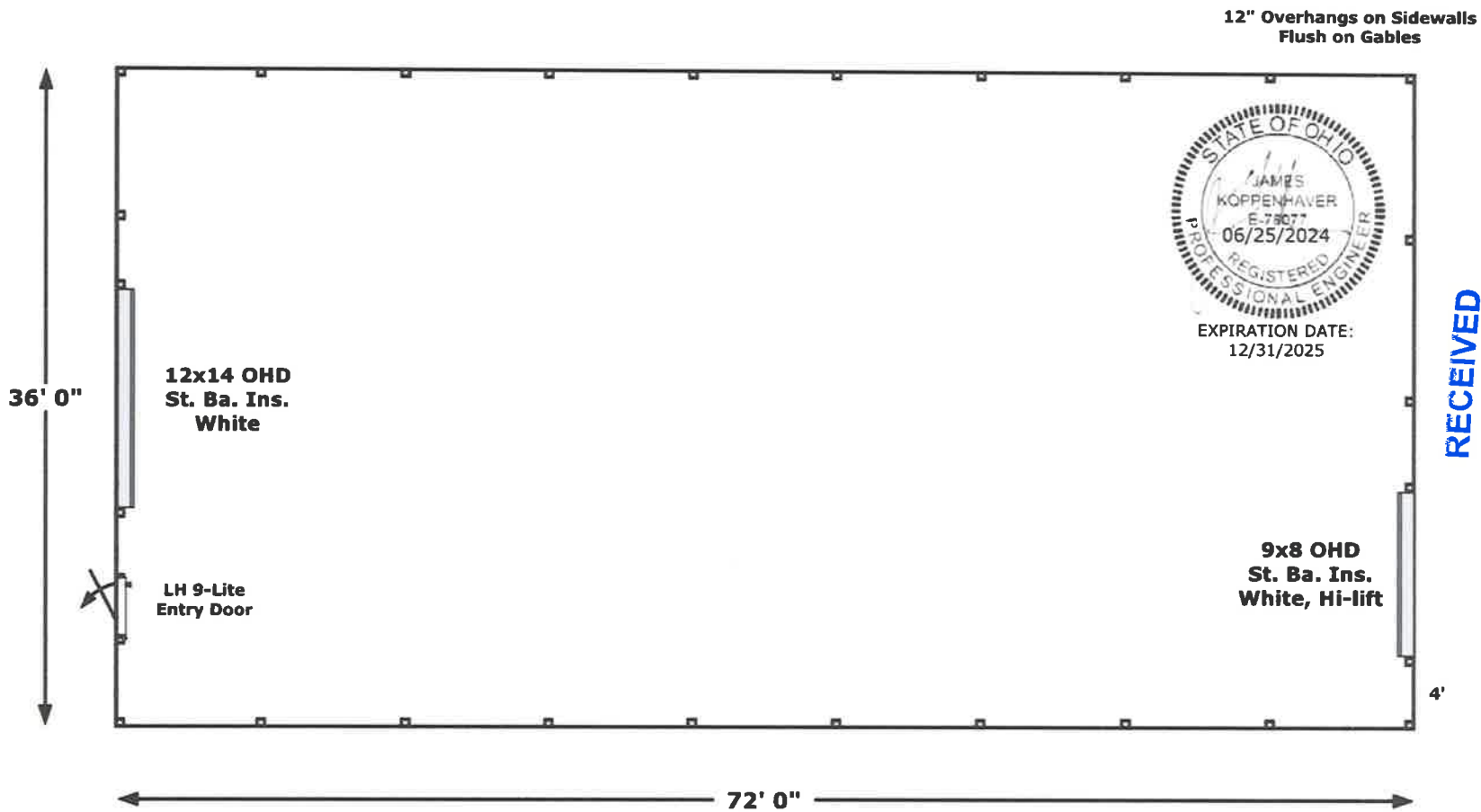
No Scale



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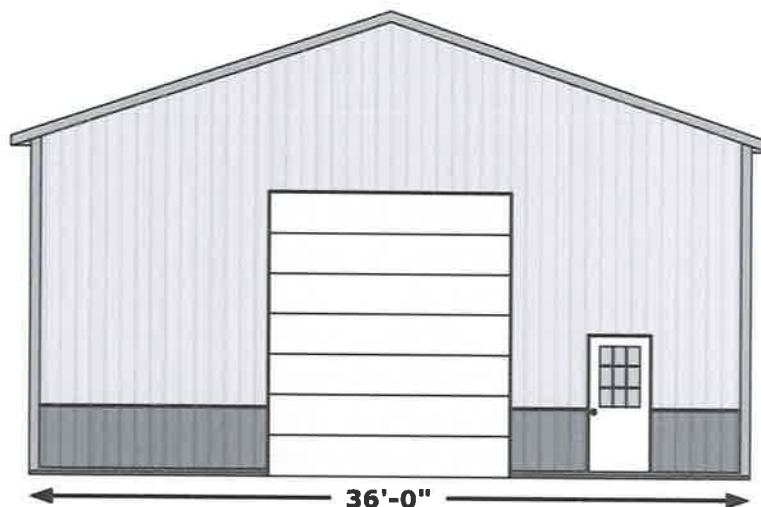
Floor Plan

1/8"=1' Scale



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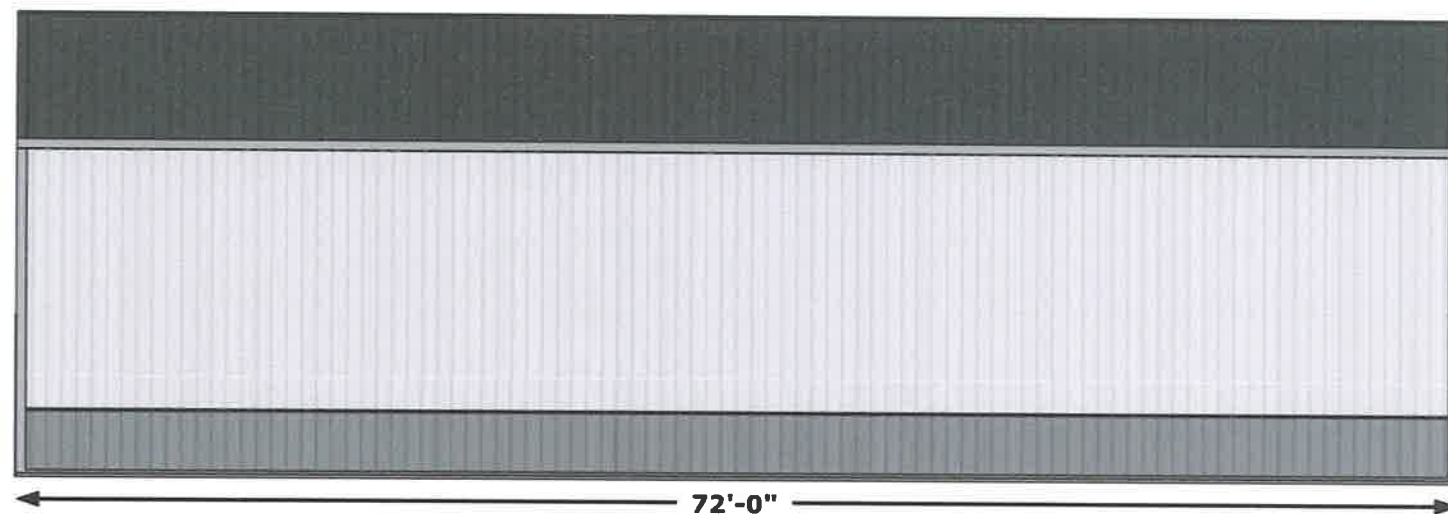


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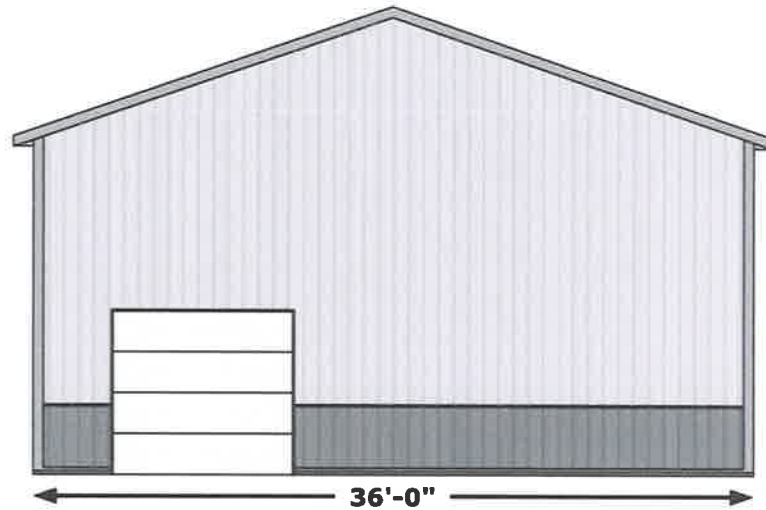
Elevation Views

1/8"=1' Scale



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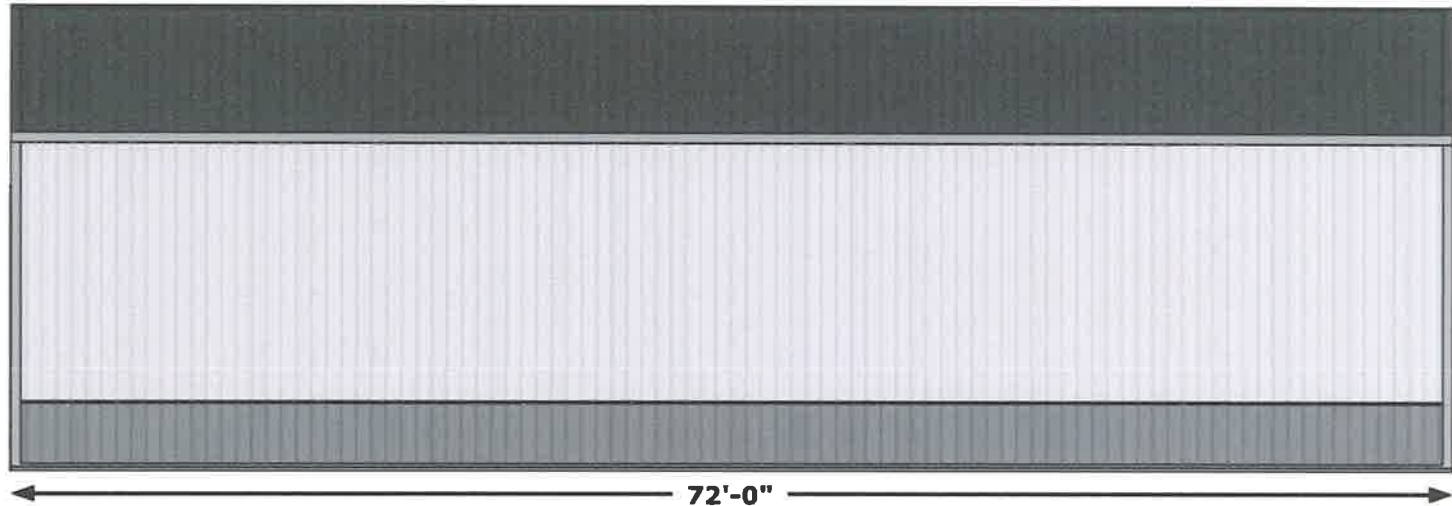


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Elevation Views

1/8"=1' Scale



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NAILING SCHEDULE	
2X8 0.14 CA-B TREATED	(8) 12D DOUBLE HOT-DIPPED GALVANIZED NAIL
PURLINS AND GIRTS 2X4 #1/#2 SPF	(6) 12D SMOOTH NAILS PER POST (6) 12D SMOOTH NAILS AT SPLICE
(2) 2X12 HEADERS TO POST (POST TREATMENT: ONLY BOTTOM 6'-0")	(4) 5/16" X 4" GRK SCREWS PER HEADER PER SIDE (8 SCREWS TOTAL) *NOTCH POST FOR TRUSS @ ALL TRUSS TO POST CONNECTIONS.
TIE DOWN BLOCK OR TIMBER TO TRUSS HEEL	(6) 12D SMOOTH NAILS MIN.
TRUSS CARRIER TO TIE DOWN BLOCK	(4) 12D SMOOTH NAILS (TYP.) PER HEADER PER SIDE
*ADD BEARING BLOCKS WHERE REQUIRED FOR ADEQUATE FASTENER SPACING *ALL CONNECTION PER IRC TABLE R602.3(1) *ALL CONNECTIONS INTO TREATED LUMBER MUST BE GALVANIZED-COATED OR STAINLESS-STEEL 304 / 316	

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2843 Lifer Lane SW
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STRUCTURAL DESIGN LOAD:

1. THIS STRUCTURE IS AN ENGINEERED DESIGN IN ACCORDANCE WITH 2019 RESIDENTIAL CODE OF OHIO.
2. THIS STRUCTURE IS DESIGNED USING THE ALLOWABLE STRESS DESIGN METHOD AND APPLICABLE LOAD COMBINATIONS
3. GROUND SNOW LOAD = 20 PSF
4. WIND LOAD = 115 MPH @ 3 SEC.
5. EARTHQUAKE LOAD:
SEISMIC CATEGORY A
THE WIND DESIGN PRODUCES GREATER EFFECTS ON THIS PROJECT, THEREFORE WIND DESIGN GOVERNS
6. FLOOD LOADS:
THE PROJECT IS NOT WITHIN A FLOOD HAZARD AREA
7. ROOF LOADS:
TOTAL ROOF LOAD: 30 PSF
8. TRUSS LOADS:
TOP CHORD LIVE 20 PSF
TOP CHORD DEAD 5 PSF
BOTTOM CHORD LIVE 0 PSF
BOTTOM CHORD DEAD 5 PSF

WOOD TRUSSES:

1. TRUSSES ARE TO BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE STANDARDS OF THE NATIONAL FOREST PRODUCTS ASSOCIATION AND THE TRUSS PLATE INSTITUTE'S "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES"
2. TRUSS WEB CONFIGURATIONS, PLATE SIZES ,CHORD SIZES ,AND LATERAL BRACING SHALL BE DESIGNED BY A OH LICENSED PROFESSIONAL ENGINEER.
3. TRUSSES SHALL BE DESIGNED FOR THE LOADING ,SPACING ,AND GEOMETRY SHOWN ON THE PLAN.
4. INSTALL BRACING IN ACCORDANCE WITH THE MANUFACTURER'S DESIGN.
5. REQUIREMENTS FOR LATERAL FORCE RESISTING AND THE DESIGN OF WOOD SHEAR WALLS TO RESIST WIND AND SEISMIC LOADS ARE IN ACCORDANCE WITH 2019 RESIDENTIAL CODE OF OHIO.
6. THE TRUSSES SHALL RESIST HORIZONTAL FORCES FROM SHEAR WALLS.

LUMBER:

1. ALL LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN SOCIETY OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".
2. ALL LUMBER SHALL BE #2 OR BETTER FOR LOAD SUPPORTING IDENTIFIED BY THE GRADE MARKS AND COMPLYING WITH DOC PS 20.
3. SIZING, THICKNESS, BEARING, SPANS, GRADE, CONNECTIONS, AND PROTECTION ARE IN ACCORDANCE WITH 2019 RESIDENTIAL CODE OF OHIO.

FOOTINGS:

1. BOTTOM OF BUILDING FOOTINGS SHALL BE MINIMUM 3'-6" BELOW FINISHED GRADE.
2. ASSUMED ALLOWABLE NET SOIL BEARING OF 2,000 PSF.
3. SUBGRADE SHALL BE COMPACTED USING INDUSTRY ACCEPTABLE COMPACTING TECHNIQUES, TO 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM - D698 AND AT +2 PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM - D1557.
4. SUBGRADE SHALL BE COMPOSED OF NATURAL SOIL AND GRADED ROCK FREE OF WOOD, GRASS, ROOTS, BROKEN CONCRETE, LARGE STONES, TRASH, OR DEBRIS OF ANY KIND.
5. SUBBASE FOR CONCRETE SLAB SHALL BE 4" OF CRUSHED STONE BACKFILL IN ACCORDANCE WITH ASTM D 2940.

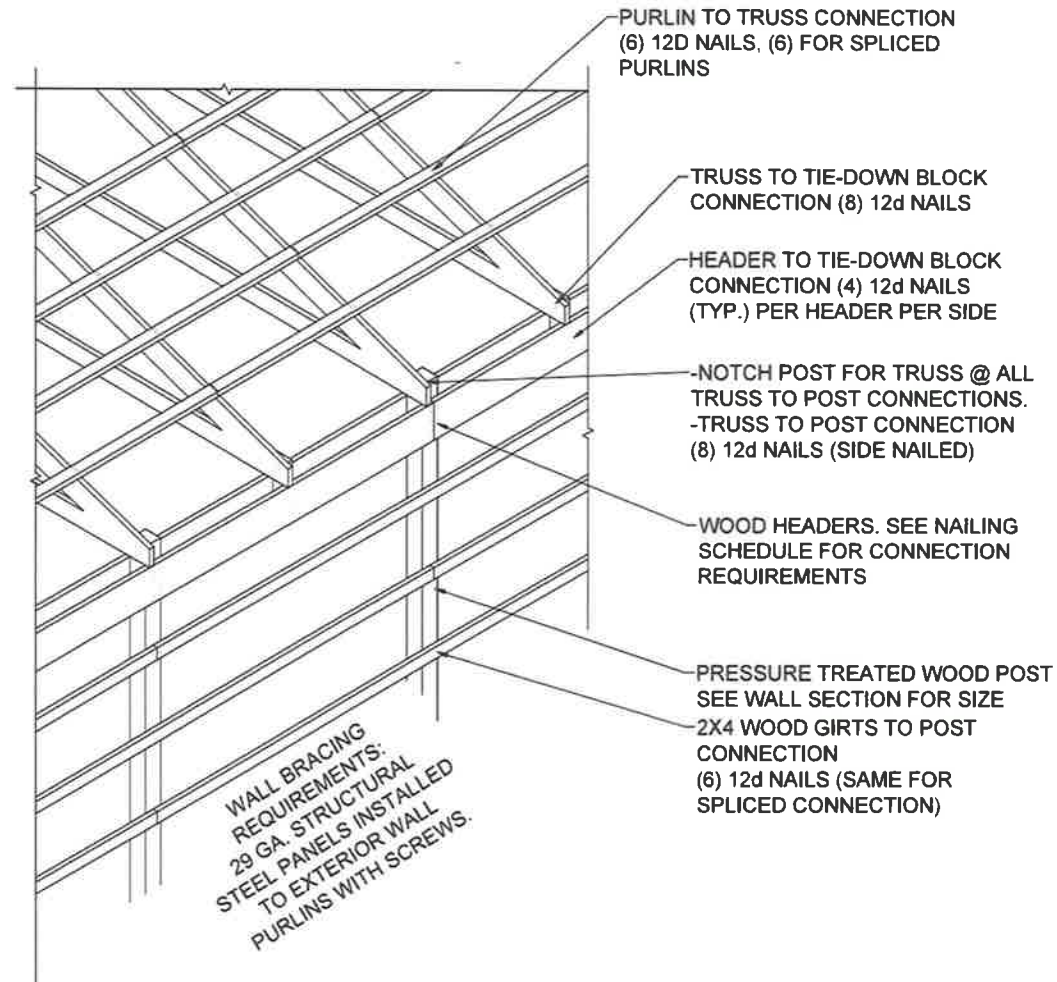
GENERAL NOTES:

1. CONCENTRATED LOADS SHALL NOT BE ATTACHED TO THE ROOF TRUSSES WITHOUT PRIOR REVIEW AND WRITTEN APPROVAL OF THE BUILDING DESIGN PROFESSIONAL.
2. CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE MUNICIPALITY WHERE THE BUILDING IS TO BE CONSTRUCTED AND FOLLOW ALL MANUFACTURER AND CODE REGULATIONS FOR INSTALLATION AND FASTENING OF ALL MATERIALS.
3. CONTRACTOR TO LOCATE AND PROTECT ANY UTILITIES IN CONFLICT WITH THIS PLAN.
4. CONTRACTOR SHALL INSTALL TRUSSES AND PERMANENT TRUSS BRACING IN ACCORDANCE WITH BCSI (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA. 22314) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) AND IN ACCORDANCE WITH THE TRUSS DESIGN DRAWINGS. TRUSS DESIGN DRAWINGS SHALL BE PROVIDED BY THE TRUSS MANUFACTURER.
5. THIS PROJECT WILL NOT INCLUDE ELECTRICAL OR MECHANICAL WORK OR INTERIOR FINISHES.
6. AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.

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ZONING DEPT.**EXPIRATION DATE:
12/31/2025

Job Name: Steinke, Matthew
Site Address: 4104 Springboro Rd.
Lebanon, OH 45036

MQS Structures, LLC
2843 Lifer Lane SW
Lancaster, OH 43130



FRAMING SECTION (EAVE WALL)

SCALE: 1/8" = 1'-0"

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ZONING DEPT.

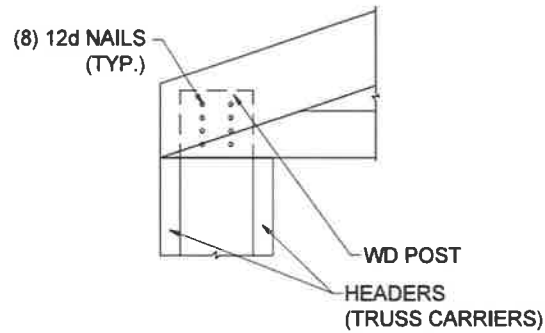


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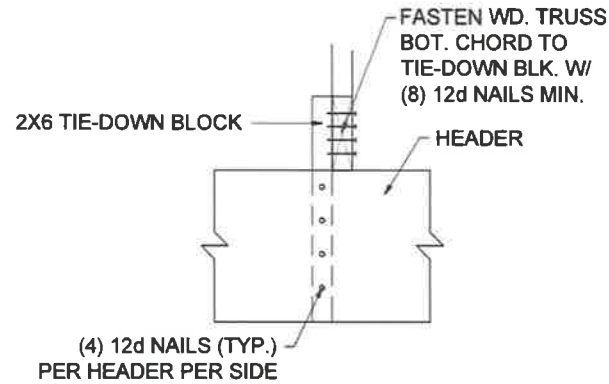
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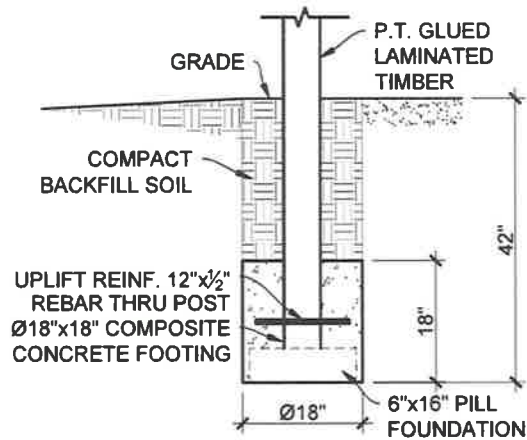
TYP. TRUSS TO POST

SCALE: 1" = 1'-0"



TYP. HEADER TO TIE-DOWN BLOCK

SCALE: 1" = 1'-0"



FOUNDATION DETAIL, TYP.

SCALE: 1/2" = 1'-0"

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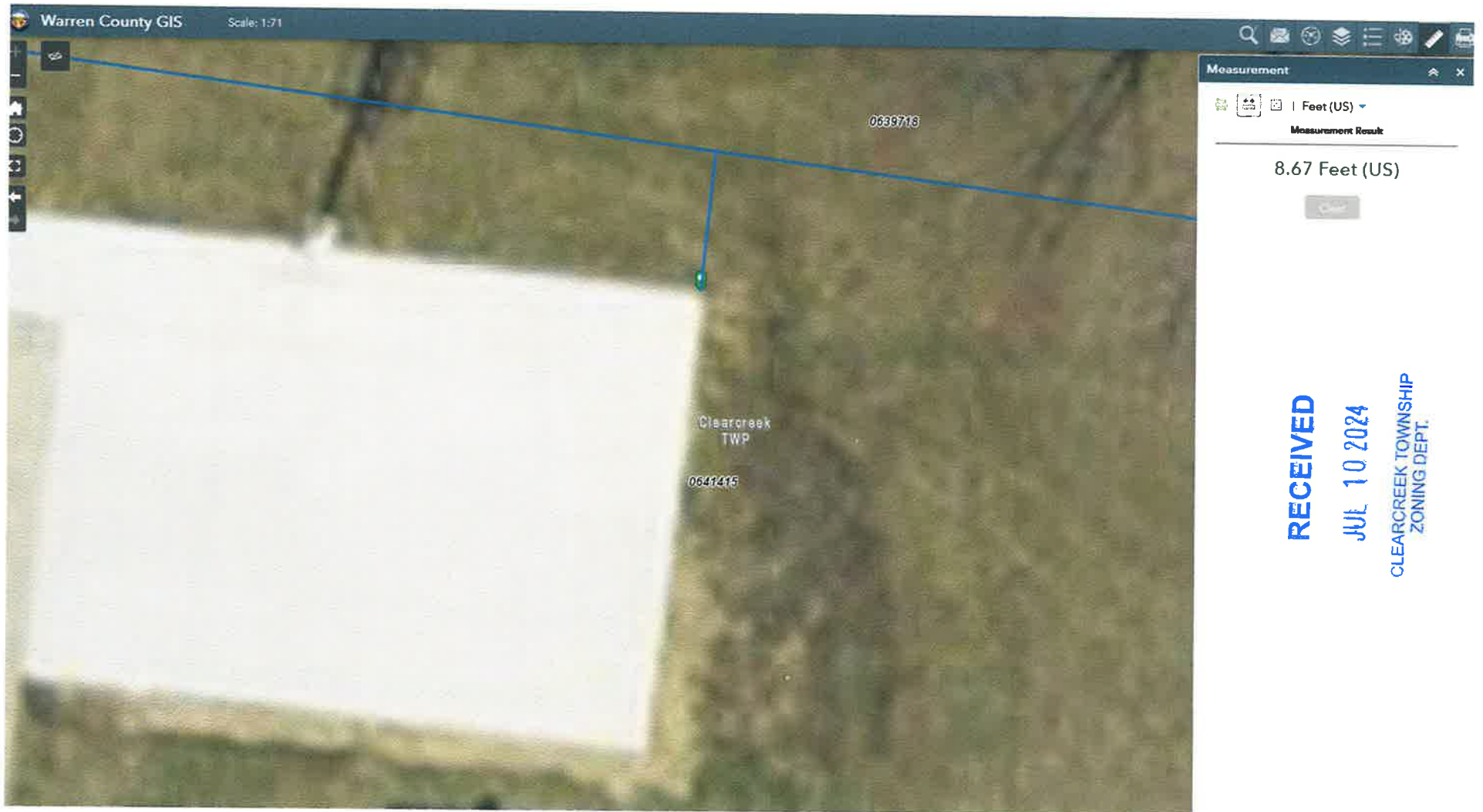
**Site Address: 4104 Springboro Rd.
 Lebanon, OH 45036**

MQS Structures, LLC
 2843 Lifer Lane SW
 Lancaster, OH 43130

Proposed location of pole barn w/ variance request



Type written dimensions added by staff



RECEIVED
JUL 10 2024
CLEARCREEK TOWNSHIP
ZONING DEPT.

CLEARCREEK TOWNSHIP

WARREN COUNTY, OHIO

AMOUNT
\$50.00

DEPARTMENT OF ZONING
ZONING CERTIFICATE

PERMIT NO.
2981-98

This is to certify that Michael B. Franer

(Applicant)

has made application on the 22nd day of June, 1998 to the Zoning Inspector of

Clearcreek Township for a Zoning Certificate for the Dwelling

(Type of Building)

located at 4104 Springboro Road Clearcreek Township, Warren County, Ohio

(Exact Location)

If such Dwelling

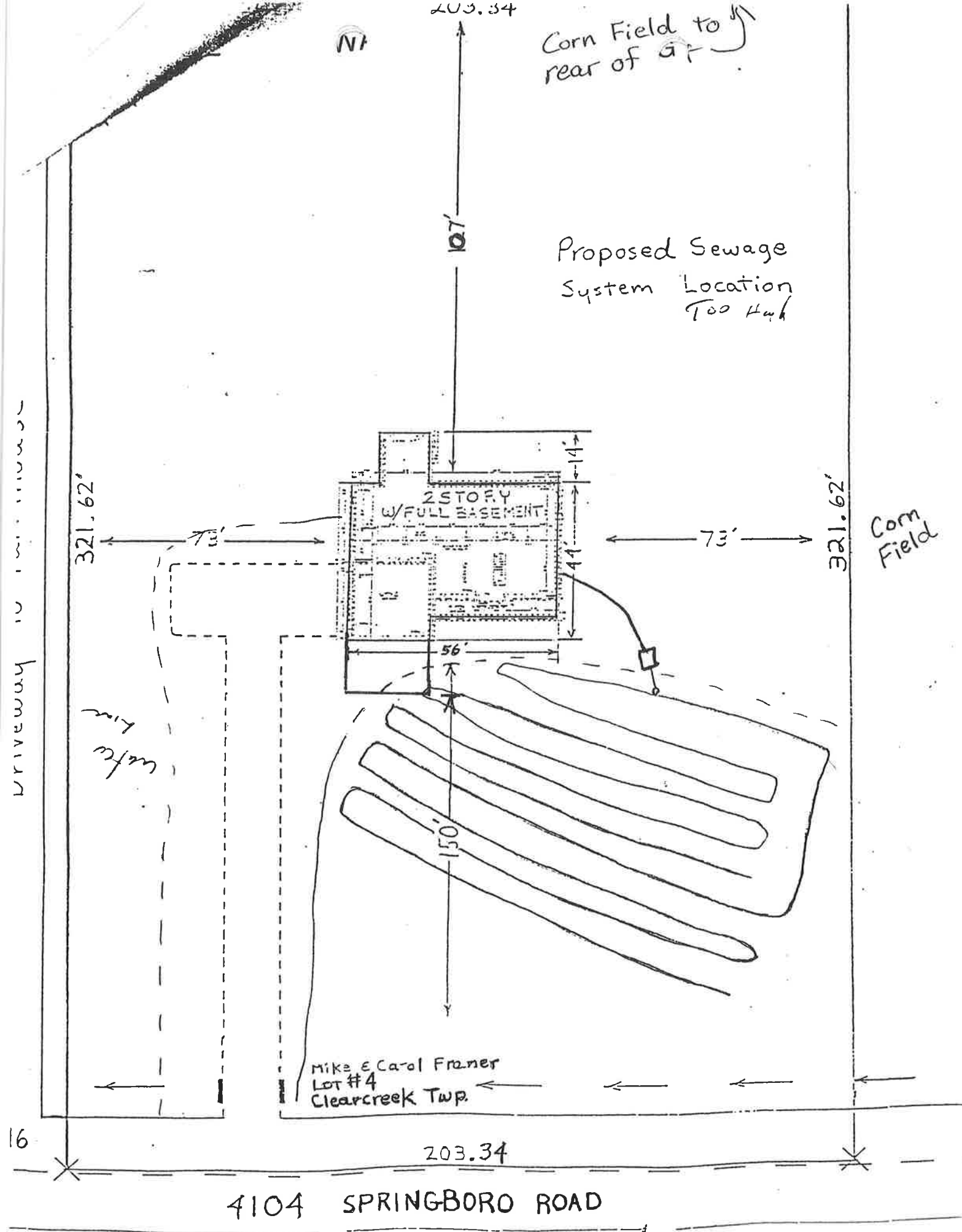
(Type of Building)

shall conform in all other respects to the laws of the State of Ohio and the Zoning resolutions of Clearcreek Township, then a Certificate of Compliance shall be issued upon completion.

Dennis A. Pickett

Zoning Inspector / Deputy Zoning Inspector

Plot Plan

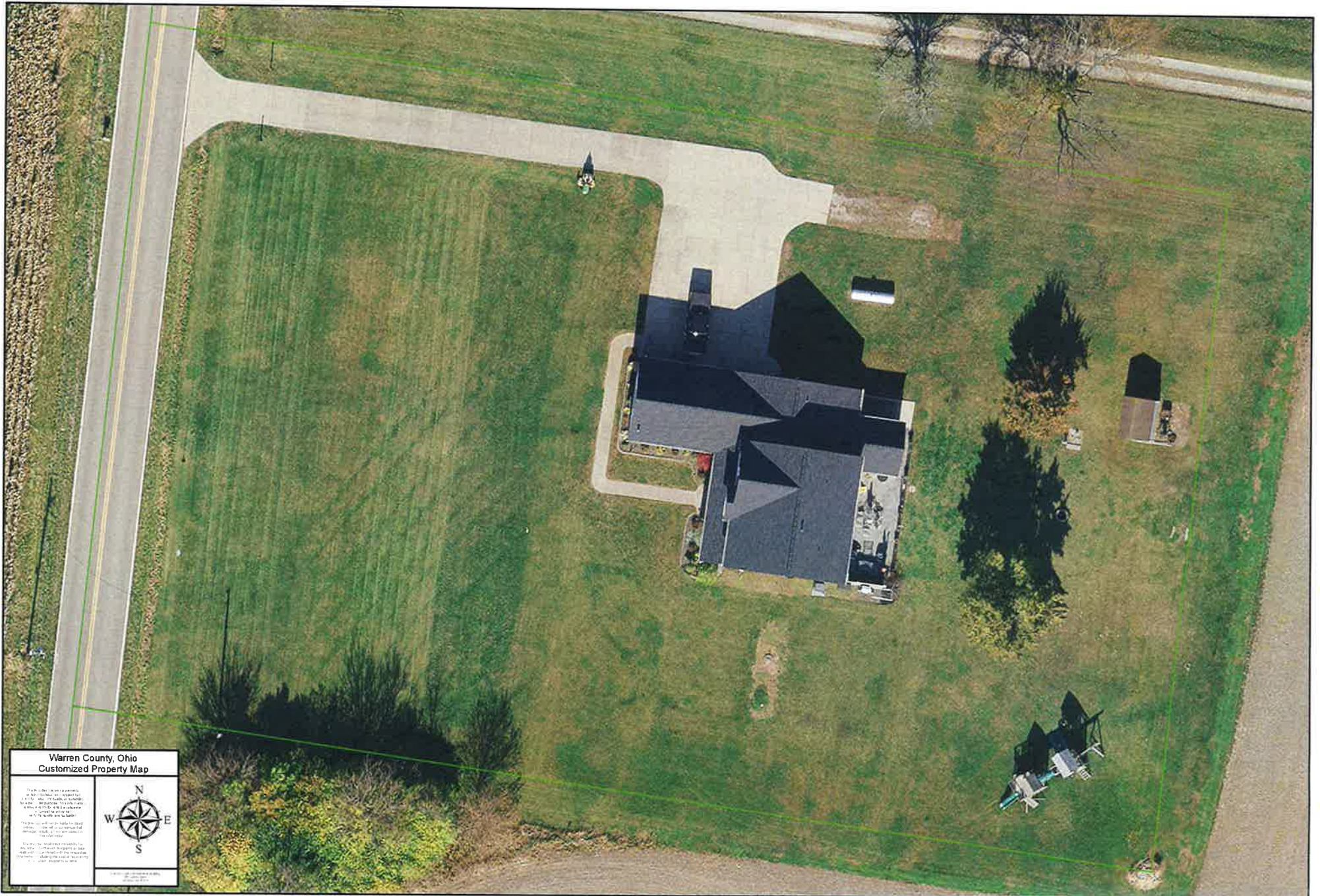


* Fire Hydrant

08-04-300-042 2018



08-04-300-042 2020



1 inch = 37.5 feet
24-BZA-005 Exhibit 10B

Date: 7/16/2024

08-04-300-042 2022



1 inch = 37.5 feet
24-BZA-005 Exhibit 10C

Date: 7/16/2024

08-04-300-042 2023



1 inch = 37.5 feet
24-BZA-005 Exhibit 10D

Date: 7/16/2024

From: Prass, Jeff <JPrass@clearcreektownship.com>
Sent: Tuesday, July 16, 2024 9:53 AM
To: Palmer, Jeff <JPALMER@clearcreektownship.com>
Cc: Carman, Larry <larry.carman@clearcreektownship.com>
Subject: RE: I have a couple of questions about the Fire Code

- The Zoning Code doesn't address the minimum distance a house propane tank can be placed from a dwelling or an accessory structure. Is that addressed in the Fire Code? If so, can you please send me a reference link or PDF of the Code?

Depends on the size of the container. See the attached photo of the table in the Ohio Fire Code. Table 6104.3 2017 Ohio Fire Code

- The Zoning Code doesn't address the number of access points (roads) required for a subdivision (this is a function of the Warren County Subdivision Regulations). Does the Fire Code have a minimum number of access points (roads) per a minimum number of lots/homes? If so, can you please send me a reference link or a PDF of the Code?

This is outlined in 2017 Ohio Fire Code Section 503. There is no set number of houses that require an access road. It is left up to the AHJ which is us and we determine this on a case-by-case basis and upon review of the subdivision plan.

Hope this helps.

From: Carman, Larry <larry.carman@clearcreektownship.com>
Sent: Tuesday, July 16, 2024 7:14 AM
To: Prass, Jeff <JPrass@clearcreektownship.com>
Subject: FW: I have a couple of questions about the Fire Code

Lets discuss.....thanks

From: Palmer, Jeff <JPALMER@clearcreektownship.com>
Sent: Monday, July 15, 2024 12:01 PM
To: Carman, Larry <larry.carman@clearcreektownship.com>
Subject: I have a couple of questions about the Fire Code

Greetings Lt. Carman:

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LIQUEFIED PETROLEUM GASES

TABLE 6104.3
LOCATION OF LP-GAS CONTAINERS

LP-GAS CONTAINER CAPACITY (water gallons)	MINIMUM SEPARATION BETWEEN LP-GAS CONTAINERS AND BUILDINGS, PUBLIC WAYS OR LOT LINES OF ADJOINING PROPERTY THAT CAN BE BUILT UPON		MINIMUM SEPARATION BETWEEN LP-GAS CONTAINERS ^{b,c} (feet)
	Mounded or underground LP-gas containers ^a (feet)	Above-ground LP-gas containers ^b (feet)	
Less than 125 ^{c,d}	10	5 ^c	None
125 to 250	10	10	None
251 to 500	10	10	3
501 to 2,000	10	25 ^{e,f}	3
2,001 to 30,000	50	50	5
30,001 to 70,000	50	75	(0.25 of sum of diameters of adjacent LP-gas containers)
70,001 to 90,000	50	100	
90,001 to 120,000	50	125	

For SI: 1 foot = 304.8 mm, 1 gallon = 3.785 L.

- Minimum distance for underground LP-gas containers shall be measured from the pressure relief device and the filling or liquid-level gauge vent connection at the container, except that all parts of an underground LP-gas container shall be not less than 10 feet from a building or lot line of adjoining property that can be built upon.
- For other than installations in which the overhanging structure is 50 feet or more above the relief-valve discharge outlet. In applying the distance between buildings and ASME LP-gas containers with a water capacity of 125 gallons or more, not less than 50 *per cent* of this horizontal distance shall also apply to all portions of the building that project more than 5 feet from the building wall and that are higher than the relief valve discharge outlet. This horizontal distance shall be measured from a point determined by projecting the outside edge of such overhanging structure vertically downward to grade or other level upon which the LP-gas container is installed. Distances to the building wall shall be not less than those prescribed in this table.
- Where underground multicontainer installations are comprised of individual LP-gas containers having a water capacity of 125 gallons or more, such containers shall be installed so as to provide access at their ends or sides to facilitate working with cranes or hoists.
- At a consumer site, if the aggregate water capacity of a multicontainer installation, comprised of individual LP-gas containers having a water capacity of less than 125 gallons, is 500 gallons or more, the minimum distance shall comply with the appropriate portion of Table 6104.3 of *this rule*, applying the aggregate capacity rather than the capacity per LP-gas container. If more than one such installation is made, each installation shall be separated from other installations by not less than 25 feet. Minimum distances between LP-gas containers need not be applied.
- The following shall apply to above-ground containers installed alongside buildings:
 - LP-gas containers of less than a 125-gallon water capacity are allowed next to the building they serve where in compliance with
 - Department of transportation (DOT) is